

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE
PORTSMOUTH, NEW HAMPSHIRE**

WORK SESSION

**Conference Room A
City Hall, Municipal Complex, 1 Junkins Avenue**

2:00 PM

July 13, 2021

AGENDA

2:00 pm

180 Spaulding Turnpike
Spaulding Group, LLC, Owner
Ambit Engineering, Engineer
LUTW-21-9

Site Plan Review

AMBIT ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801
Phone (603) 430-9282 Fax 436-2315

6 July 2021

Juliet Walker, Planning Director
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Request for Review for Site Plan Approval at 180 Spaulding Turnpike, Tax Map 236 / Lot 39

Dear Ms. Walker:

On behalf of Spaulding Group, LLC (Applicant) we hereby submit the attached and enclosed Site Plans for a Proposed Building Addition at 180 Spaulding Turnpike. As a Mazda automobile dealer franchisee, Seacoast Mazda has been directed by Mazda North America to seek all the necessary approvals to build a new showroom and customer service area. While clean and well maintained, the existing showroom and customer service area are in need of updating to provide a more functional, efficient and welcoming space. The proposed project involves demolishing the existing showroom, offices and service area and building a new showroom and customer service area on the existing footprint, adding a second floor over a portion the showroom for offices and storage space and expanding the showroom to include an enclosed customer service drive-in area. The enclosed customer service drive-in area will be in the same location as the existing outdoor customer service drive-up area. The proposed new customer service drive-in area will align with the front and side of the building and thereby maintain the same setbacks from property boundaries that exist today. There will be no other changes to the Property.

The proposed project will increase the gross square footage (GSF) of the existing building by approximately 2,410 GSF. This increase is largely represented by the conversion of the existing outdoor customer service drive-up area to an indoor customer service drive-in area. The proposed second floor office and storage space is approximately 1,710 GSF resulting in a total increase of 4,120 GSF. The project requires Zoning Relief; said relief was granted by the Portsmouth Zoning Board on June 15, 2021. The next step in this process is to appear before the city Technical Advisory Committee. We request a meeting with the TAC Workshop Committee. Please consider scheduling this project for discussion at the July 13 TAC Workshop Meeting. We look forward to the City's review of this submission. If there are any questions or comments please feel free to reach out to me.

Sincerely,


John Chagnon
John R. Chagnon, PE

PROJECT PERMITS:
 PORTSMOUTH ZBA: APPROVED 6/15/21
 PORTSMOUTH SITE PLAN: PENDING
 PORTSMOUTH CUP (WETLANDS): PENDING

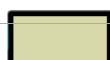






2056 BYERS ROAD
DAYTON, OH
TEL. (844) 804-7700

Legend





Character Districts

 Character-Based Zoning Area
(Refer to Map Sheet 2 of 2
Character Districts Regulating Plan)




Residential Districts

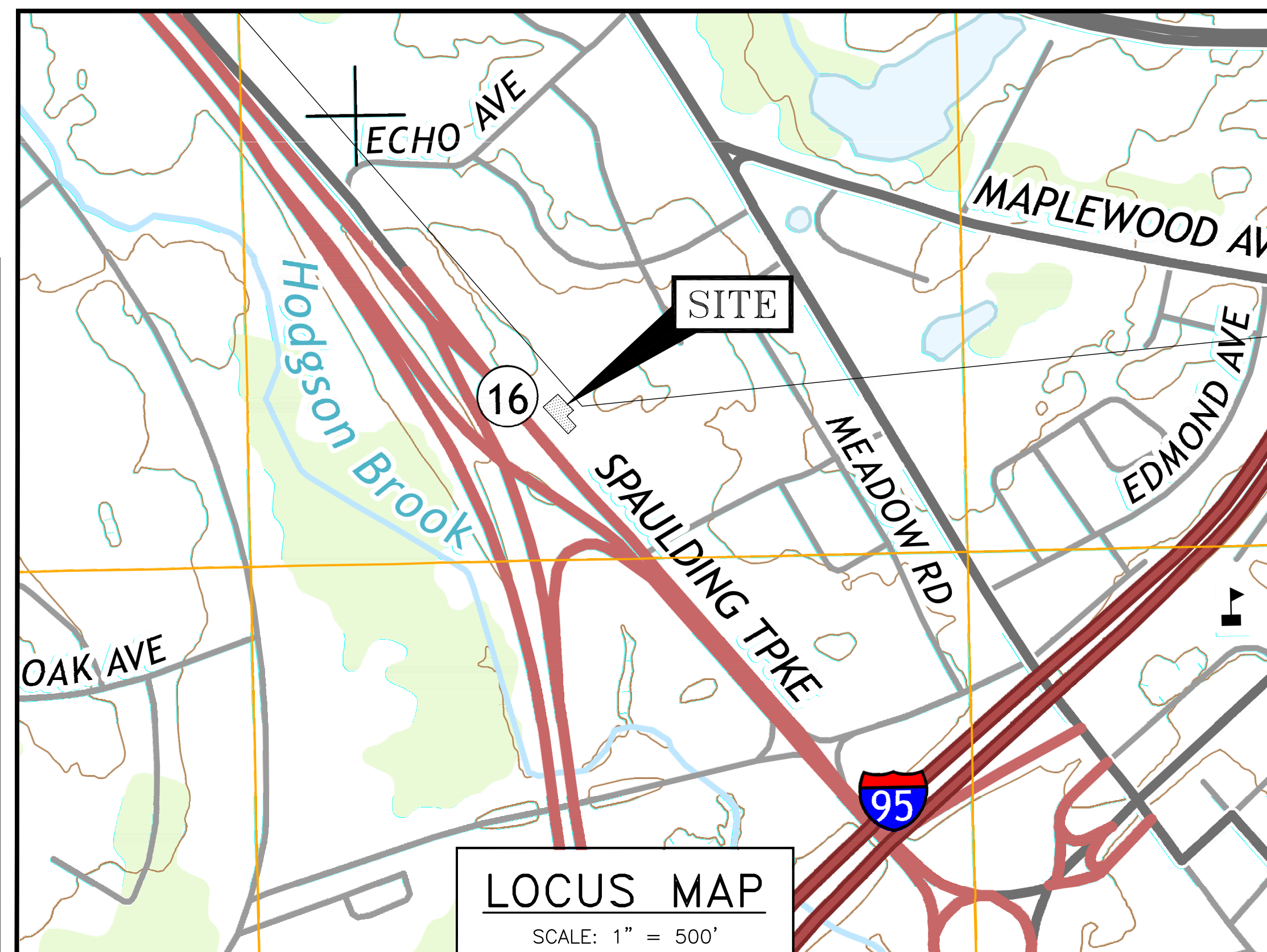
	R	Rural
	SRA	Single Residence A
	SRB	Single Residence B
	GRA	General Residence A
	GRB	General Residence B
	GRC	General Residence C
	GA/MH	Garden Apartment/Mobile Home Park

Mixed Residential Districts

	MRO	Mixed Residential Office
	MRB	Mixed Residential Business
	G1	Gateway Corridor
	G2	Gateway Center

Business Districts

	GB	General Business
	B	Business
	WB	Waterfront Business



<u>EXISTING</u>		<u>PROPOSED</u>	
			PROPERTY LINE
			SETBACK
			SEWER PIPE
			SEWER LATERAL
			GAS LINE
			STORM DRAIN
			WATER LINE
			WATER SERVICE
			UNDERGROUND ELECTRIC
			OVERHEAD ELECTRIC/WIRES
			FOUNDATION DRAIN
			EDGE OF PAVEMENT (EP)
			CONTOUR
			SPOT ELEVATION
			UTILITY POLE
			WALL MOUNTED EXTERIOR LIGHTS
			TRANSFORMER ON CONCRETE PAD
			ELECTRIC HANDHOLD
			SHUT OFFS (WATER/GAS)
			GATE VALVE
			HYDRANT
			CATCH BASIN
			SEWER MANHOLE
			DRAIN MANHOLE
			TELEPHONE MANHOLE
			PARKING SPACE COUNT
			PARKING METER
			LANDSCAPED AREA
			TO BE DETERMINED
			CAST IRON PIPE
			COPPER PIPE
			DUCTILE IRON PIPE
			POLYVINYL CHLORIDE PIPE
			REINFORCED CONCRETE PIPE
			ASBESTOS CEMENT PIPE
			VITRIFIED CLAY PIPE
			EDGE OF PAVEMENT
			ELEVATION
			FINISHED FLOOR
			INVERT
			SLOPE FT/FT
			TEMPORARY BENCH MARK
			TYPICAL
			WINDOW WELL
			PHOTO LOCATION



CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

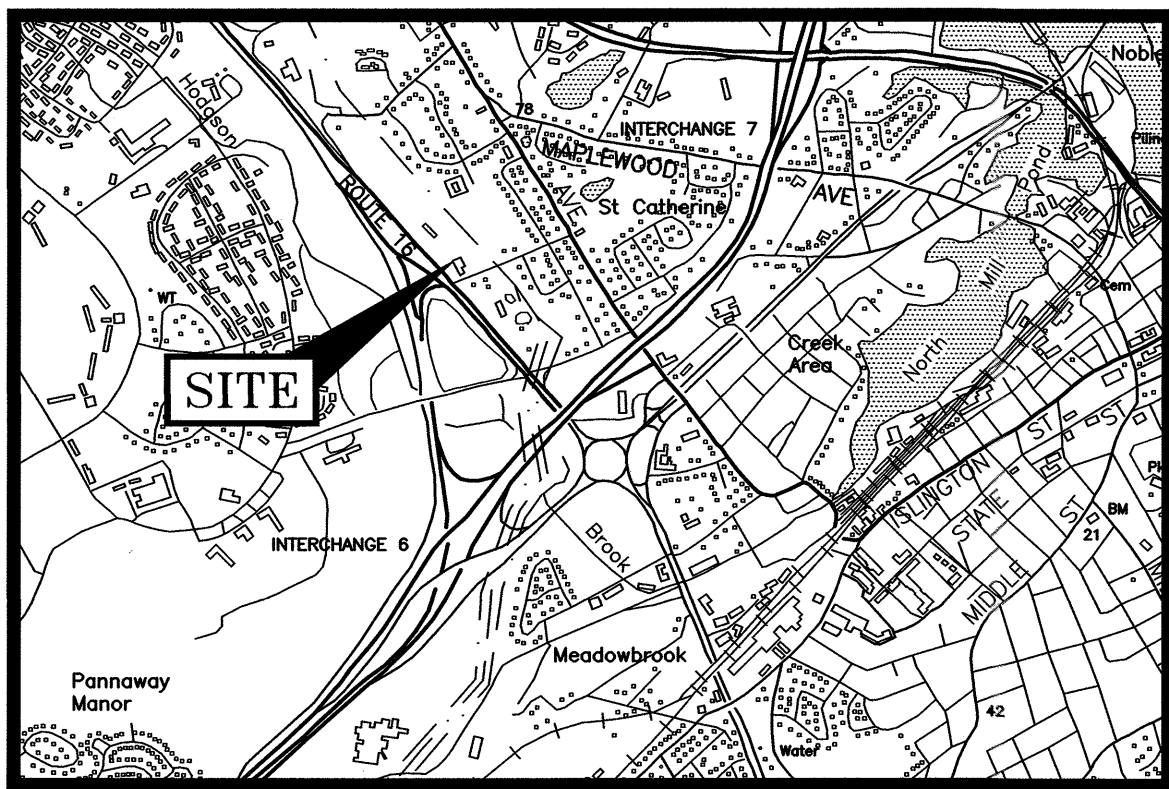
COMMUNICATIONS:
CONSOLIDATED
COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

DATE _____

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 6 JULY 2021

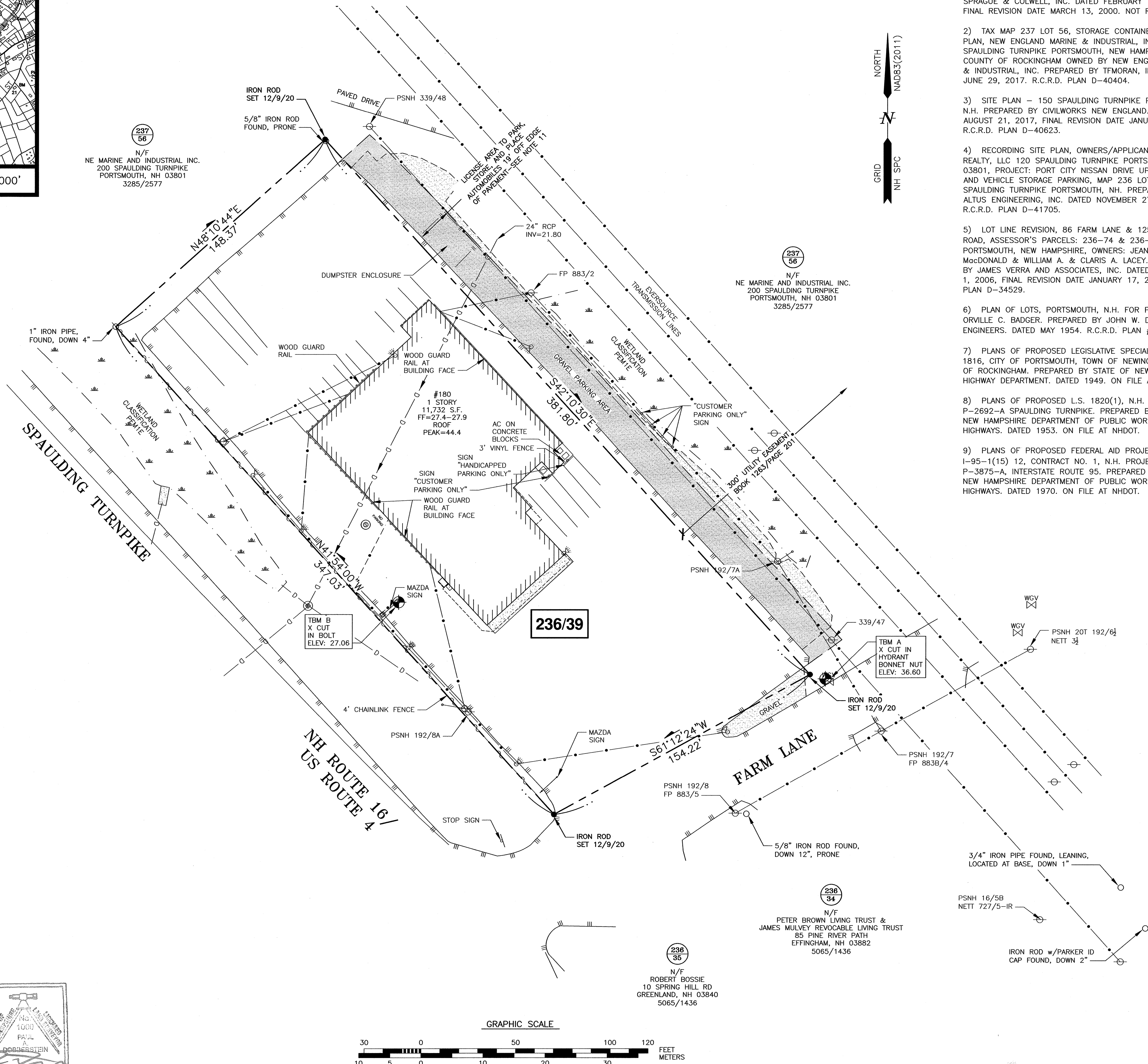


LOCATION MAP

SCALE: 1"=2,000'

LEGEND:

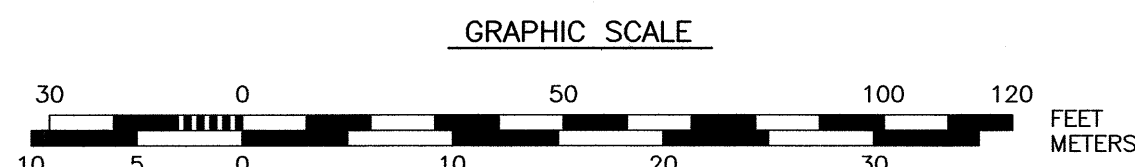
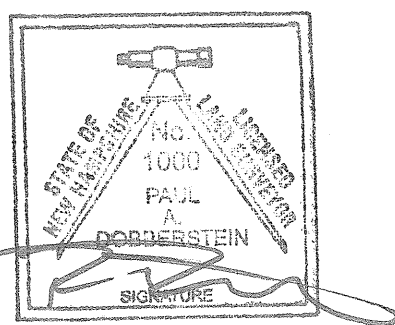
N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY
	REGISTRY OF DEEDS
RR SPK	RAILROAD SPIKE
11/21	MAP 11/LOT 21
○ IR FND	IRON ROD FOUND
○ IP FND	IRON PIPE FOUND
● IR SET	IRON ROD SET
● DH FND	DRILL HOLE FOUND
● DH SET	DRILL HOLE SET
■ NHFB	NHDOT BOUND FOUND
■ TB	TOWN BOUND
■ BND w/DH	BOUND WITH DRILL HOLE
■ ST BND w/DH	STONE BOUND WITH DRILL HOLE



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A DOBBERSTEIN, LLS

DATE



PLAN REFERENCES:

1) REQUEST FOR VARIANCE FOR SEACOAST VOLKSWAGEN - MAZDA, 180 SPAULDING TURNPIKE, COUNTY OF ROCKINGHAM, PORTSMOUTH, NH. PREPARED BY MILLETTE, SPRAGUE & COLWELL, INC. DATED FEBRUARY 14, 2000. FINAL REVISION DATE MARCH 13, 2000. NOT RECORDED.

2) TAX MAP 237 LOT 56, STORAGE CONTAINER LOCATION PLAN, NEW ENGLAND MARINE & INDUSTRIAL, INC., 200 SPAULDING TURNPIKE PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM OWNED BY NEW ENGLAND MARINE & INDUSTRIAL, INC. PREPARED BY TFMORAN, INC. DATED JUNE 29, 2017. R.C.R.D. PLAN D-40404.

3) SITE PLAN - 150 SPAULDING TURNPIKE PORTSMOUTH, N.H. PREPARED BY CIVILWORKS NEW ENGLAND. DATED AUGUST 21, 2017, FINAL REVISION DATE JANUARY 5, 2018. R.C.R.D. PLAN D-40623.

4) RECORDING SITE PLAN, OWNERS/APPLICANTS: TWO-WAY REALTY, LLC 120 SPAULDING TURNPIKE PORTSMOUTH, NH 03801, PROJECT: PORT CITY NISSAN DRIVE UP SERVICE BAY AND VEHICLE STORAGE PARKING, MAP 236 LOT 33, 120 SPAULDING TURNPIKE PORTSMOUTH, NH. PREPARED BY ALTUS ENGINEERING, INC. DATED NOVEMBER 27, 2018. R.C.R.D. PLAN D-41705.

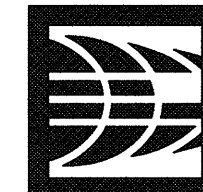
5) LOT LINE REVISION, 86 FARM LANE & 125 MEADOW ROAD, ASSESSOR'S PARCELS: 236-74 & 236-68, PORTSMOUTH, NEW HAMPSHIRE, OWNERS: JEANNETTE MacDONALD & WILLIAM A. & CLARIS A. LACEY. PREPARED BY JAMES VERRA AND ASSOCIATES, INC. DATED DECEMBER 1, 2006, FINAL REVISION DATE JANUARY 17, 2007. R.C.R.D. PLAN D-34529.

6) PLAN OF LOTS, PORTSMOUTH, N.H. FOR PAUL C. & ORVILLE C. BADGER. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS. DATED MAY 1954. R.C.R.D. PLAN #02160.

7) PLANS OF PROPOSED LEGISLATIVE SPECIAL PROJECT LS 1816, CITY OF PORTSMOUTH, TOWN OF NEWINGTON, COUNTY OF ROCKINGHAM. PREPARED BY STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT. DATED 1949. ON FILE AT NHDOT.

8) PLANS OF PROPOSED L.S. 1820(1), N.H. NO. P-2692-A SPAULDING TURNPIKE. PREPARED BY STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS. DATED 1953. ON FILE AT NHDOT.

9) PLANS OF PROPOSED FEDERAL AID PROJECT I-95-1(15) 12, CONTRACT NO. 1, N.H. PROJECT NO. P-3875-A, INTERSTATE ROUTE 95. PREPARED BY STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS. DATED 1970. ON FILE AT NHDOT.



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) PARCEL IS SHOWN ON THE PORTSMOUTH ASSESSOR'S TAX MAP 236 AS LOT 39.

2) OWNERS OF RECORD:
SPAULDING GROUP, LLC
180 SPAULDING TURNPIKE
PORTSMOUTH, NH 03801
5886/1774

3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0260F. EFFECTIVE 1/29/2021.

4) EXISTING LOT AREA:
54,384 SF
1.2485 ACRES

5) PARCEL IS LOCATED IN THE GENERAL BUSINESS DISTRICT.

6) DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 43,560 SF
FRONTAGE: 200 FT
SETBACKS:

FRONT: 30 FT
SIDE: 30 FT
REAR: 50 FT

MAXIMUM STRUCTURE HEIGHT: 60 FT
MAXIMUM BUILDING COVERAGE: 30%
MINIMUM OPEN SPACE: 20%

7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULT OF A STANDARD BOUNDARY SURVEY OF THE PARCEL.

8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS (±0.2').

9) PARCEL IS SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS FOR LAND NOW OF NEW ENGLAND MARINE AND INDUSTRIAL, INC. IN AS MUCH AS IT IS STILL IN EFFECT, LOCATION NOT PLOTTABLE. SEE R.C.R.D. 1566/184.

10) PARCEL IS SUBJECT TO A DRAINAGE AGREEMENT (R.C.R.D. 1564/229) & CONDITIONS AS MUCH AS THEY ARE STILL IN EFFECT (R.C.R.D. 1499/277).

11) LICENSE AREA FOR PARKING, STORAGE, AND PLACING AUTOMOBILES IS SHOWN PER PLAN REFERENCE 1 & R.C.R.D. PLAN D-40404. THE LICENSE AGREEMENT BETWEEN THE OWNERS OF PARCELS 237/56 AND 236/39 ALLOW FOR A 25' WIDE AREA TO PARK AND STORE VEHICLES. SEE CITY AGREEMENT TO LIMIT TO 19' FROM EDGE OF PAVEMENT.

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	2/17/21
0	ISSUED FOR COMMENT	12/5/20

STANDARD BOUNDARY SURVEY
TAX MAP 236 - LOT 39
SEACOAST MAZDA

FOR
SPAULDING GROUP, LLC
180 SPAULDING TURNPIKE
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE 1"=30'

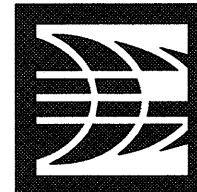
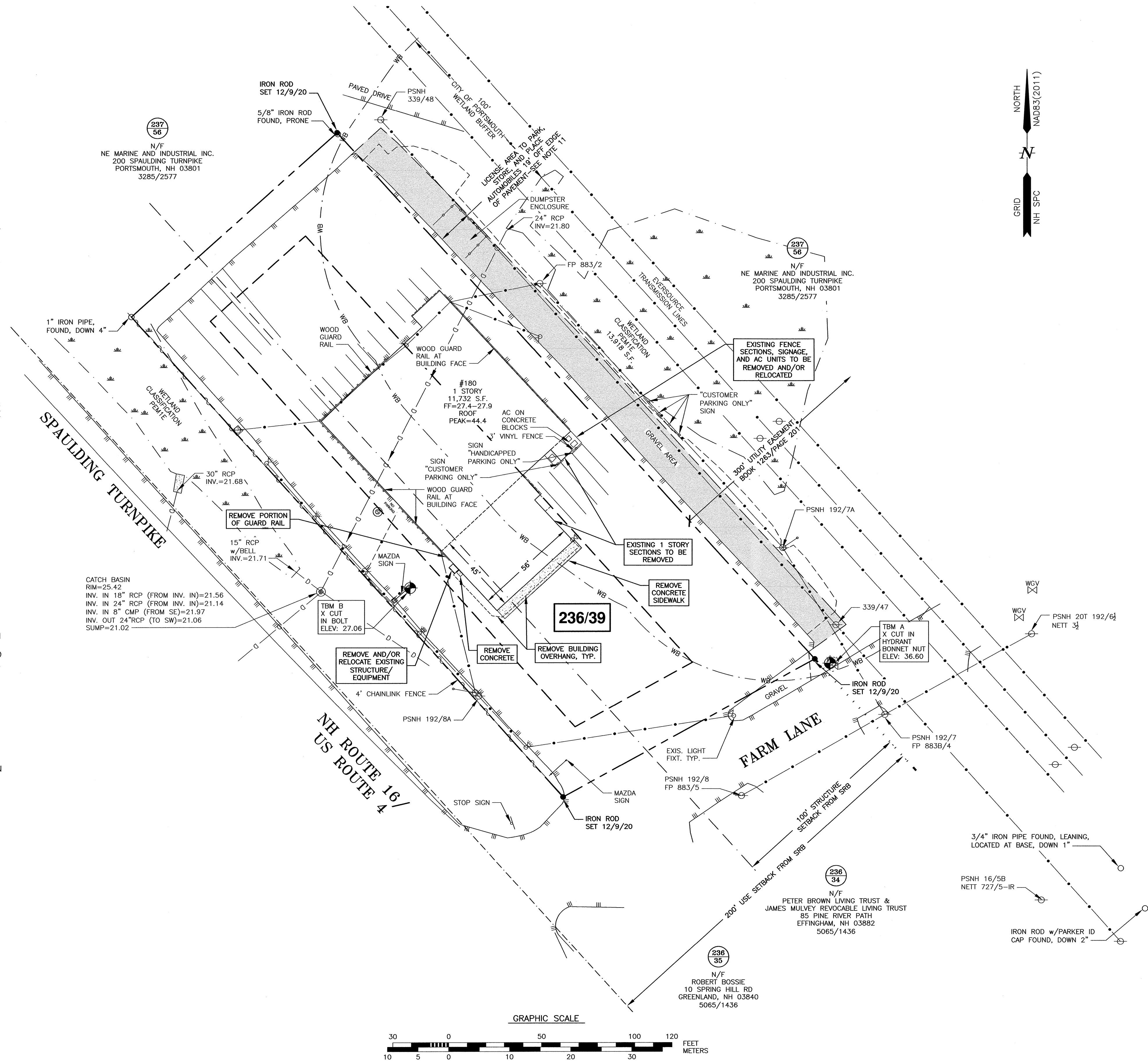
NOVEMBER 2020

FB 324 & PG 51

3236

DEMOLITION NOTES

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFELY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



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Civil Engineers & Land Surveyors

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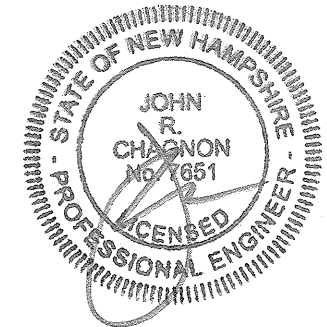
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

BUILDING ADDITION
SEACOAST MAZDA
180 SPAULDING TURNPIKE
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	7/6/21
0	ISSUED FOR COMMENT	12/5/20

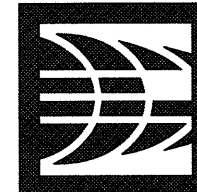
REVISIONS



SCALE: 1"=30' DECEMBER 2020

DEMOLITION
PLAN

C2



AMBIT ENGINEERING, INC.

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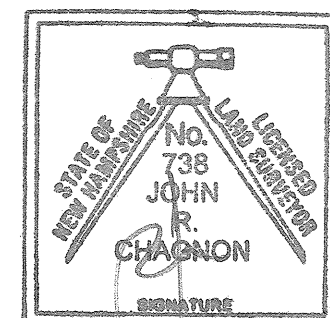
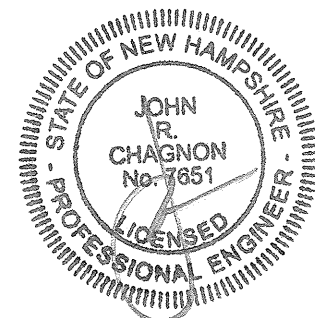
NOTES:

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- 2) OWNERS OF RECORD:
SPAULDING GROUP, LLC
180 SPAULDING TURNPIKE
PORTSMOUTH, NH 03801
5886/1774
PLAN REFERENCE 1
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0260F. EFFECTIVE 1/29/2021.
- 4) EXISTING LOT AREA:
54,384 S.F.
1.2485 ACRES
- 5) PARCEL IS LOCATED IN THE GENERAL BUSINESS (GB) ZONING DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 43,560 SF
FRONTAGE: 200 FEET
SETBACKS: FRONT 30 FEET
SIDE 30 FEET
REAR 50 FEET
MAXIMUM STRUCTURE HEIGHT: 60 FEET
MAXIMUM BUILDING COVERAGE: 30%
MINIMUM OPEN SPACE: 20%
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED BUILDING ADDITION ON THE PROPERTY.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS ($\pm 0.2'$).
- 9) PROPOSED USE: SALES, LEASING, AND SERVICING OF VEHICLES.
- 10) PARKING CALCULATION:
SECTION 11.10 SALES OF VEHICLES
15,852 S.F. GFA + 19,443 S.F. DISPLAY AREA.
REQUIRED: 1 PER 600 S.F. GFA + 1 PER 2,000 S.F. OUTSIDE DISPLAY AREA.
REQUIRED: 15,852/600 + 19,443 S.F./2,000
27+10=37 SPACES REQUIRED.
37 SPACES PROVIDED.
- 11) THERE ARE 21 UNSTRIPED PARKING SPACES IN THE GRAVEL AREA.
- 12) NO CHANGES TO EXTERIOR LIGHTING ARE PROPOSED. THERE WILL BE NO CHANGE TO THE CURRENT ON SITE PARKING OR DISPLAY AREA.

**BUILDING ADDITION
SEACOAST MAZDA
180 SPAULDING TURNPIKE
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	7/6/21
0	ISSUED FOR COMMENT	2/17/21

REVISIONS



SCALE: 1"=30'

DECEMBER 2020

**SITE
PLAN**

C3

IMPERVIOUS SURFACE AREAS

(TO PROPERTY LINE)

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
BUILDING	11,732	14,144
PAVEMENT	40,360	37,652
GRAVEL	93	93
CONCRETE	344	600
CURBING	0	40
TOTAL	52529	52529
LOT SIZE	54,384	54,384
% LOT COVERAGE	96.6%	96.6%

PROJECT VARIANCES:

- 10.531 TABLE OF DIMENSIONAL STANDARDS:
REAR YARD: PROPOSED 15' SETBACK WHERE
50' IS REQUIRED.
- 10.591 STRUCTURE SETBACK TO RESIDENTIAL DISTRICT:
PROPOSED 15' SETBACK WHERE 100' IS
REQUIRED.
- 10.592.20 USE SETBACK FOR RESIDENTIAL DISTRICT:
PROPOSED 0' SETBACK WHERE 200' IS REQUIRED.
- 10.321 EXPANSION OF NONCONFORMING BUILDING:
ITEMS (AS REQUIRED).
- 10.1113.20 TO PERMIT OFF STREET PARKING SPACES IN THE
FRONT YARD.

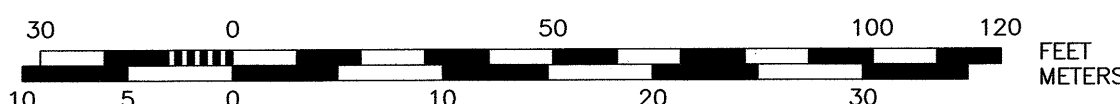
APPROVED 6/15/21

APPROVED BY THE PORTSMOUTH PLANNING BOARD

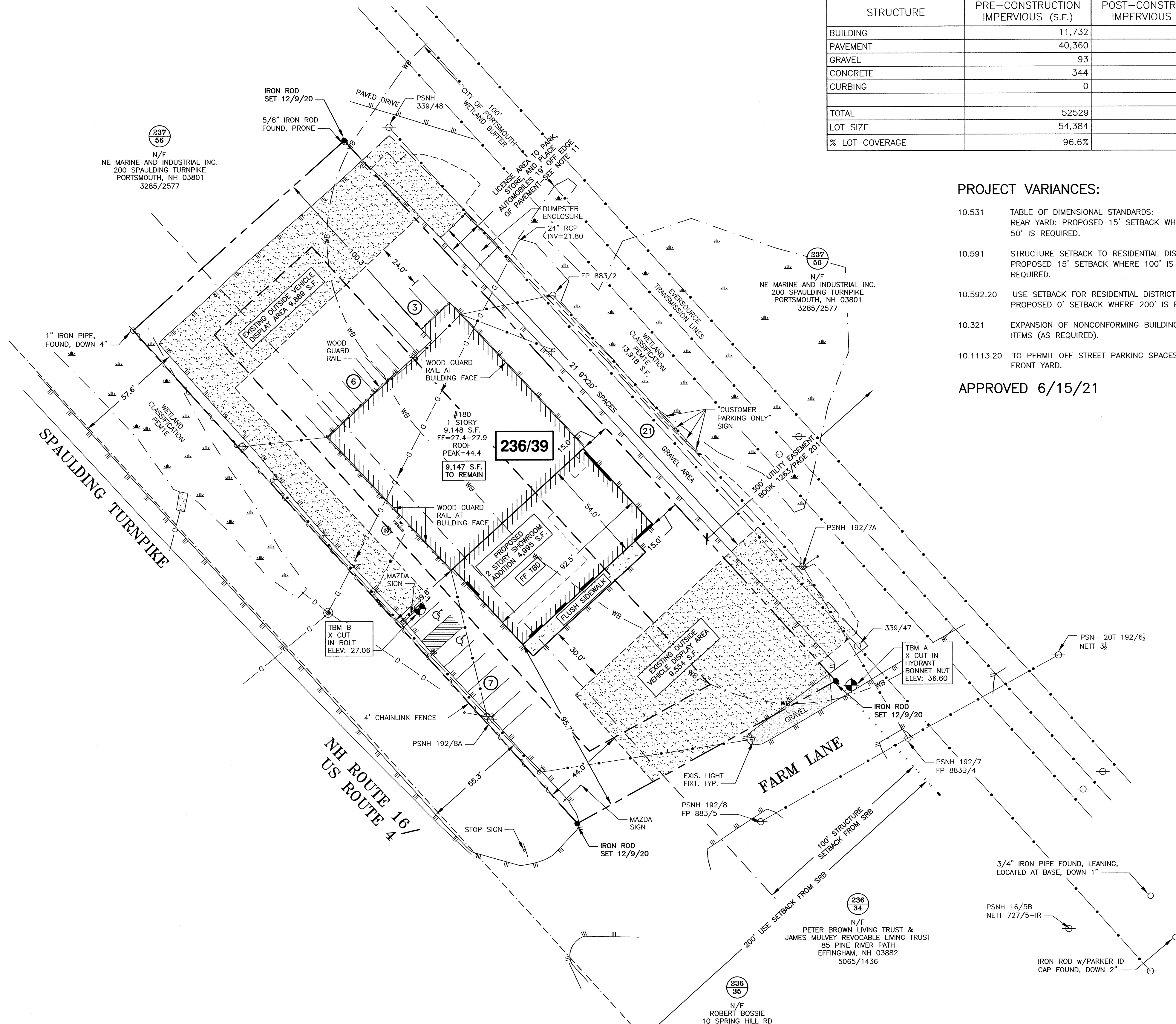
CHAIRMAN

DATE


GRAPHIC SCALE



NORTH
NAD83(2011)
GRID
NH SPC





	SEACOAST MAZDA PORTSMOUTH, NH	PROJECT NO. MAZ03.73	CHECKED CU	DATE FEB '21	REVISED	SCALE Not to Scale	ChangeUp <small>These drawings are for communication of design intent only. These drawings are to specify size, shape, color, features and proportions, and are not to be used as fabrication drawings.</small>	2056 Byers Rd. Dayton, OH 45342 Phone: 844.804.7700	DRAWING TITLE EXTERIOR RENDERING	DWG NO.
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LEGEND

#	NOTE DESIGNATOR - REFER TO DRAWING NOTES ON THIS SHEET
F-#	FIXTURE ITEM - REFER TO "F" SHEETS
FN-#	FURNITURE ITEM - REFER TO SHEET A-3
?-#	FINISH DESIGNATOR - REFER TO SCHEDULES ON A-4A AND A-4B SERIES SHEETS
	NEW FULL HEIGHT PARTITIONS/WALLS
	LOW WALLS OR PARTITIONS
	EXISTING WALLS

GENERAL NOTES

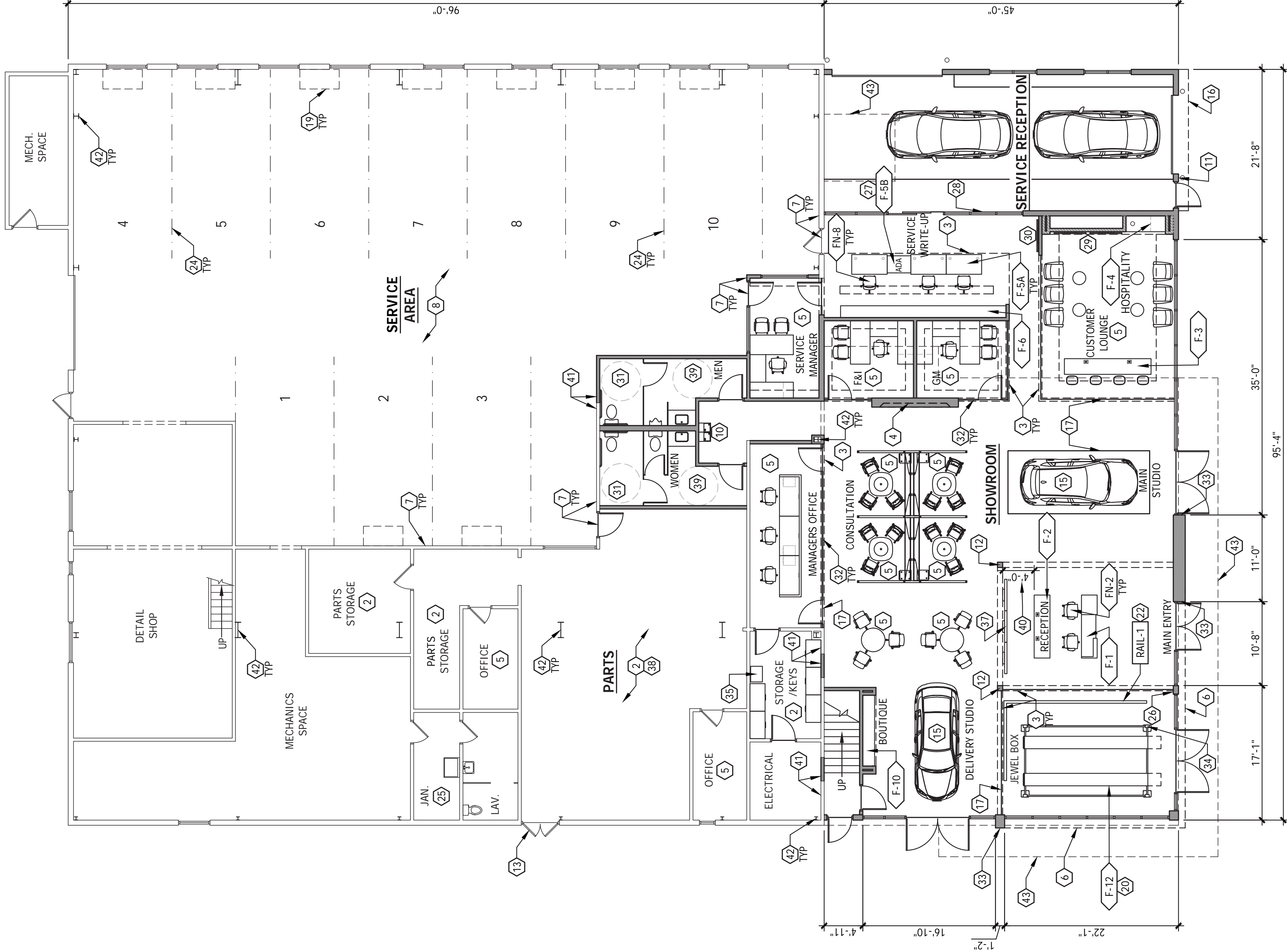
- A. THE PURPOSE OF THESE DRAWINGS IS TO CONVEY THE DESIGN INTENT AND FINISH MATERIAL SPECIFICATIONS ONLY. THEY ARE NOT TO BE USED TO OBTAIN BUILDING PERMITS OR FOR ACTUAL CONSTRUCTION OF THE PROJECT. COMPLIANCE WITH LOCAL BUILDING ORDINANCES, FIRE REGULATIONS, ZONING CODES AND ADA REGULATIONS IS BEYOND THE SCOPE OF THESE DOCUMENTS.
- B. THE PROPOSED DESIGN SOLUTION MAY REQUIRE MODIFICATIONS DUE TO JOB SPECIFIC INFORMATION REGARDING GRADING, UTILITIES, EASEMENTS, SETBACKS, WATER RETENTION, AND SITE ACCESS. ALL STRUCTURAL MODIFICATIONS MUST BE CAREFULLY ANALYZED BY A LICENSED STRUCTURAL ENGINEER AND MODIFIED/DESIGNED AS REQUIRED.
- C. COMPLIANT CONSTRUCTION DOCUMENTS ARE TO BE PREPARED BY LICENSED PROFESSIONALS WHO ARE WILLING TO ACCEPT RESPONSIBILITY FOR PROPER APPLICATION OF THESE INTENT DOCUMENTS.
- D. BUILDING CONFIGURATION, ROOM SIZES AND SHAPES ARE ALL SHOWN FOR DESIGN INTENT PURPOSES AS A GUIDELINE ONLY. ALL CRITICAL DIMENSIONING SHALL BE PERFORMED BY A LICENSED PROFESSIONAL AS PART OF CONTRACT DOCUMENT PREPARATION.
- E. DEALER'S ARCHITECT TO CONTACT THE MAZDA AUTHORIZED SERVICE EQUIPMENT PROGRAM FOR ON-SITE DEALER CONSULTATION AND RECOMMENDED SPECIAL TOOLS AREA LAYOUT. PH: (877) 768-6657.
- F. FOR JEWEL BOX LIFT DISPLAY "FUSE DISCONNECT", DEALER'S ARCHITECT TO CONFIRM LOCAL CODE AND REQUIREMENTS.
- G. ARCHITECT AND GC TO CONFIRM THAT THERE ARE NO EXPOSED EXISTING CMU-1 WALLS IN ANY CUSTOMER CONTACT AREAS, FUR OUT WALLS WITH GYPSUM BOARD, AS APPLICABLE.

GENERAL NOTES

1. NOT USED.
2. STORAGE UNITS LAYOUT AND QUANTITY BY OWNER.
3. LINE OF SOFFIT ABOVE.
4. FEATURE WALL. SEE SHEET A-2C FOR DETAILS.
5. REFER TO FURNITURE LAYOUT PLAN ON SHEET A-3.
6. LINE OF FASCIA ABOVE.
7. FIRE RATED WALL - FIRE SHUTTERS OR FIRE RATED WINDOW WALL MAY BE REQUIRED.
8. SERVICE BAY LIFT AND ALIGNMENT RACK LAYOUTS BY OWNER.
9. NOT USED.
10. ELECTRIC WATER COOLER - SUPPLY ONE FOR ADA ACCESSIBILITY.
11. OPTIONAL "EARLY BIRD" NIGHT DROP INTEGRATED INTO FACADE.
12. SUGGESTED STRUCTURAL COLUMN LAYOUT. ALL LAYOUTS TO BE CERTIFIED BY A LICENSED PROFESSIONAL.
13. PARTS DOOR.
14. NOT USED.
15. VEHICLE LOCATION - MAINTAIN LOCATION.
16. LINE OF CANOPY ABOVE.
17. FLOOR FINISH TRANSITION. SEE SHEET A-4.1.
18. NOT USED.
19. TECH TOOL STORAGE CABINET BY OWNER.
20. CAR LIFT.
21. NOT USED.
22. DISPLAY LIFT RAILING/SLICK RAIL. PORTIONS OF RAIL MAY BE REMOVABLE TO FACILITATE SHOWROOM VEHICLE ACCESS.
23. NOT USED.
24. DEFINES SERVICE STALL AREA.
25. MOP SINK.
26. JEWEL BOX LIFT DISPLAY "FUSE DISCONNECT" RECOMMENDED LOCATION. SEE GENERAL NOTE "F".
27. ARCHITECT TO CONFIRM ADA REQUIREMENTS FOR SERVICE ADVISOR COUNTER.
28. GC TO PROVIDE AND CONFIRM ADDITIONAL POWER/DATA CABLE FOR FUTURE MONITOR LOCATION (APPROX. 25'). EXACT LOCATION TBD. (SERVICE DRIVE)
29. (2) 55" TV/MONITORS. POWER/DATA TO BE AT 60" A.F.F. (CUSTOMER LOUNGE)
30. VIDEO MONITOR. CENTER OF MONITOR TO BE AT 72" A.F.F. (SERVICE WRITE-UP)
31. ALL CUSTOMER RESTROOMS TO HAVE RE STANDARD FINISHES PER DID.
32. FULL HEIGHT FRAMELESS GLASS PANELS. CHROME FINISH TRACK ON TOP AND BOTTOM AS REQUIRED. FILM APPLIED AT +36" A.F.F., TYP.
33. SEE SHEET A-7C FOR ACCENT PANEL DETAILS.
34. LOCATION OF POWER FOR BENDPAK LIFT IN JEWEL BOX. RIGHT SIDE JEWEL BOX (SHOWN) - UPPER RIGHT; LEFT SIDE JEWEL BOX - LOWER LEFT.
35. KEY BOX.
36. NOT USED.
37. (9) MONITORS TO BE INSTALLED BEFORE INSTALLATION OF RECEPTION DESK.
- RECOMMENDED: ADD PLYWOOD BACKING ON ENTIRE BACK WALL BEHIND (9) MONITORS.
38. AREA MUST BE EXCLUSIVE FOR MAZDA PARTS STORAGE.
39. BABY CHANGING TABLES IN RESTROOMS.
40. RECEPTION STATION TO BE PLACED 4'-0" IN FRONT OF (9) MONITORS SOFFIT
41. ALIGN WITH FACE OF EXISTING CONSTRUCTION.
42. EXISTING COLUMN. LICENSED PROFESSIONAL TO VERIFY EXACT LOCATION.
43. LINE OF EXISTING BUILDING/CANOPY TO BE DEMOLISHED.

DRAWING NOTES

1. NOT USED.
2. STORAGE UNITS LAYOUT AND QUANTITY BY OWNER.
3. LINE OF SOFFIT ABOVE.
4. FEATURE WALL. SEE SHEET A-2C FOR DETAILS.
5. REFER TO FURNITURE LAYOUT PLAN ON SHEET A-3.
6. LINE OF FASCIA ABOVE.
7. FIRE RATED WALL - FIRE SHUTTERS OR FIRE RATED WINDOW WALL MAY BE REQUIRED.
8. SERVICE BAY LIFT AND ALIGNMENT RACK LAYOUTS BY OWNER.
9. NOT USED.
10. ELECTRIC WATER COOLER - SUPPLY ONE FOR ADA ACCESSIBILITY.
11. OPTIONAL "EARLY BIRD" NIGHT DROP INTEGRATED INTO FACADE.
12. SUGGESTED STRUCTURAL COLUMN LAYOUT. ALL LAYOUTS TO BE CERTIFIED BY A LICENSED PROFESSIONAL.
13. PARTS DOOR.
14. NOT USED.
15. VEHICLE LOCATION - MAINTAIN LOCATION.
16. LINE OF CANOPY ABOVE.
17. FLOOR FINISH TRANSITION. SEE SHEET A-4.1.
18. NOT USED.
19. TECH TOOL STORAGE CABINET BY OWNER.
20. CAR LIFT.
21. NOT USED.
22. DISPLAY LIFT RAILING/SLICK RAIL. PORTIONS OF RAIL MAY BE REMOVABLE TO FACILITATE SHOWROOM VEHICLE ACCESS.
23. NOT USED.
24. DEFINES SERVICE STALL AREA.
25. MOP SINK.
26. JEWEL BOX LIFT DISPLAY "FUSE DISCONNECT" RECOMMENDED LOCATION. SEE GENERAL NOTE "F".
27. ARCHITECT TO CONFIRM ADA REQUIREMENTS FOR SERVICE ADVISOR COUNTER.
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29. (2) 55" TV/MONITORS. POWER/DATA TO BE AT 60" A.F.F. (CUSTOMER LOUNGE)
30. VIDEO MONITOR. CENTER OF MONITOR TO BE AT 72" A.F.F. (SERVICE WRITE-UP)
31. ALL CUSTOMER RESTROOMS TO HAVE RE STANDARD FINISHES PER DID.
32. FULL HEIGHT FRAMELESS GLASS PANELS. CHROME FINISH TRACK ON TOP AND BOTTOM AS REQUIRED. FILM APPLIED AT +36" A.F.F., TYP.
33. SEE SHEET A-7C FOR ACCENT PANEL DETAILS.
34. LOCATION OF POWER FOR BENDPAK LIFT IN JEWEL BOX. RIGHT SIDE JEWEL BOX (SHOWN) - UPPER RIGHT; LEFT SIDE JEWEL BOX - LOWER LEFT.
35. KEY BOX.
36. NOT USED.
37. (9) MONITORS TO BE INSTALLED BEFORE INSTALLATION OF RECEPTION DESK.
- RECOMMENDED: ADD PLYWOOD BACKING ON ENTIRE BACK WALL BEHIND (9) MONITORS.
38. AREA MUST BE EXCLUSIVE FOR MAZDA PARTS STORAGE.
39. BABY CHANGING TABLES IN RESTROOMS.
40. RECEPTION STATION TO BE PLACED 4'-0" IN FRONT OF (9) MONITORS SOFFIT
41. ALIGN WITH FACE OF EXISTING CONSTRUCTION.
42. EXISTING COLUMN. LICENSED PROFESSIONAL TO VERIFY EXACT LOCATION.
43. LINE OF EXISTING BUILDING/CANOPY TO BE DEMOLISHED.



SEACOAST MAZDA
PORTSMOUTH, NH

PROJECT NO.
MAZ03.73

CHECKED
CU

DATE
FEB '21

REVISED

SCALE
3/32"=1'-0"

ChangeUp

2056 Byers Rd. | Dayton, OH 45442
Phone: 844.804.7700

DRAWING TITLE
FURNITURE AND FIXTURE
PLAN - FIRST FLOOR

DWG NO.
A-2.1

CUT THIS PART OUT

LEGEND

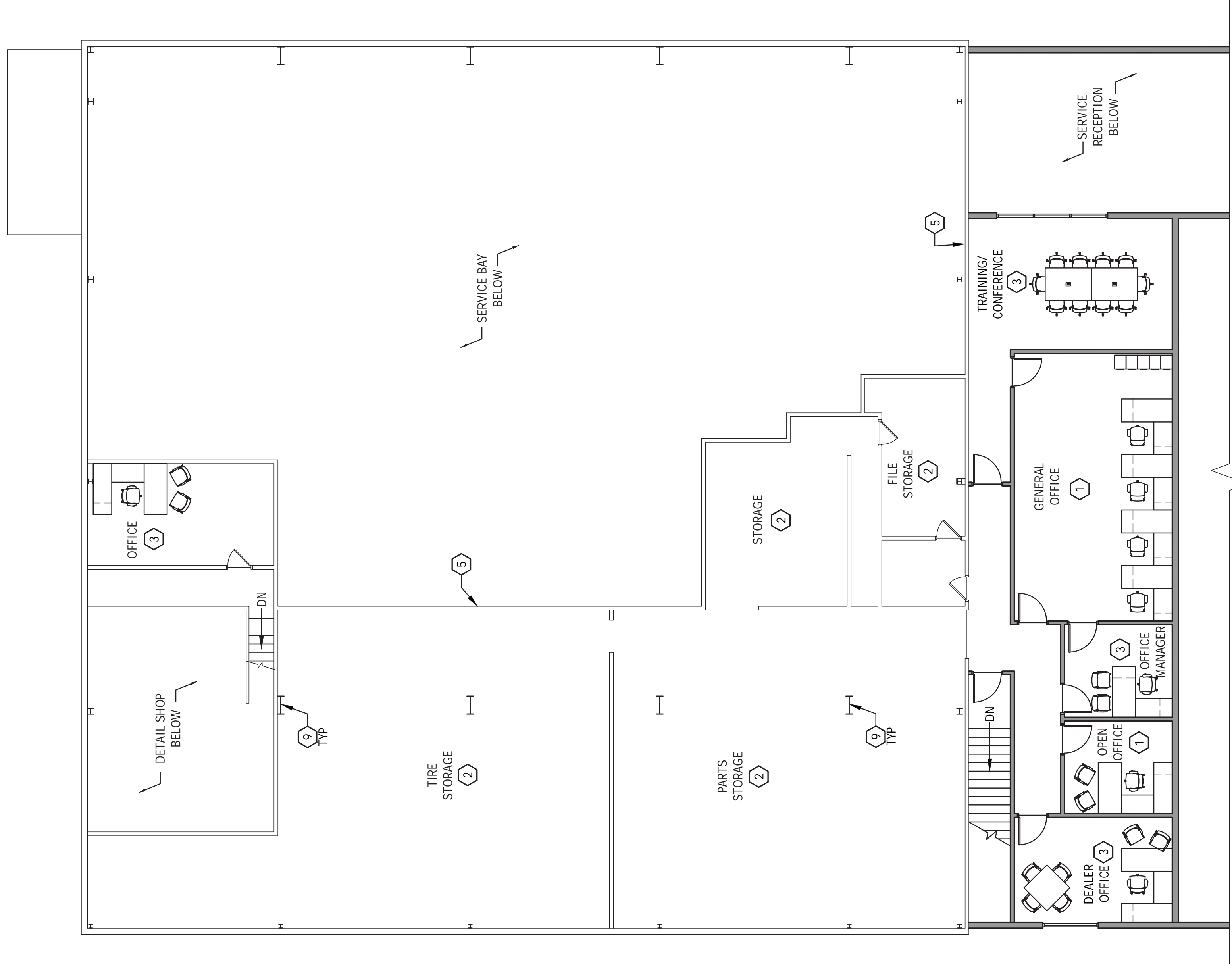
#	NOTE DESIGNATOR - REFER TO DRAWING NOTES ON THIS SHEET
▬	NEW FULL HEIGHT PARTITIONS/WALLS
▬▬	EXISTING WALLS

GENERAL NOTES

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DRAWING NOTES

1. OFFICE FURNISHING LAYOUT BY OWNER. ITEMS CAN BE SELECTED FROM SPECIFIED FURNITURE SYSTEM.
2. STORAGE UNITS LAYOUT AND QUANTITY BY OWNER.
3. REFER TO FURNITURE LAYOUT PLAN ON SHEET A-3.
4. NOT USED.
5. FIRE RATED SEPARATION WALL.
6. NOT USED.
7. NOT USED.
8. NOT USED.
9. EXISTING COLUMN. LICENSED PROFESSIONAL TO VERIFY EXACT LOCATION.



SEACOAST MAZDA
PORTSMOUTH, NH

PROJECT NO.
MAZ03.73

CHECKED
CU

DATE
FEB '21

REVISED

SCALE
3/32" = 1'-0"

ChangeUp

2054 Byrne Rd. | Dayton, OH 45342
Phone: 844.804.7700

DRAWING TITLE
FURNITURE AND FIXTURE
PLAN - SECOND FLOOR

DWG NO.
A-2.2



**SEACOAST MAZDA
PORTSMOUTH, NH**

PROJECT NO.
MAZO3.73

CHECKI

DATE FEB '31

REMOVED

SCALE
3/32"=1'-0"

Change Up

2056 Byers Rd. | Dayton, OH 45342
Phone: 844.804.7700

DRAWING TITLE
EXTERIOR ELEVATIONS

DWG NO.
A-7

LEGEND

#	NOTE DESIGNATOR - REFER TO DRAWING NOTES ON THIS SHEET
EG-?	GRAPHICS DESIGNATOR - REFER TO "G" SERIES SHEETS
?-#	FINISH DESIGNATOR - REFER TO SCHEDULES ON A-4A AND A-4B SERIES SHEETS

GENERAL NOTES

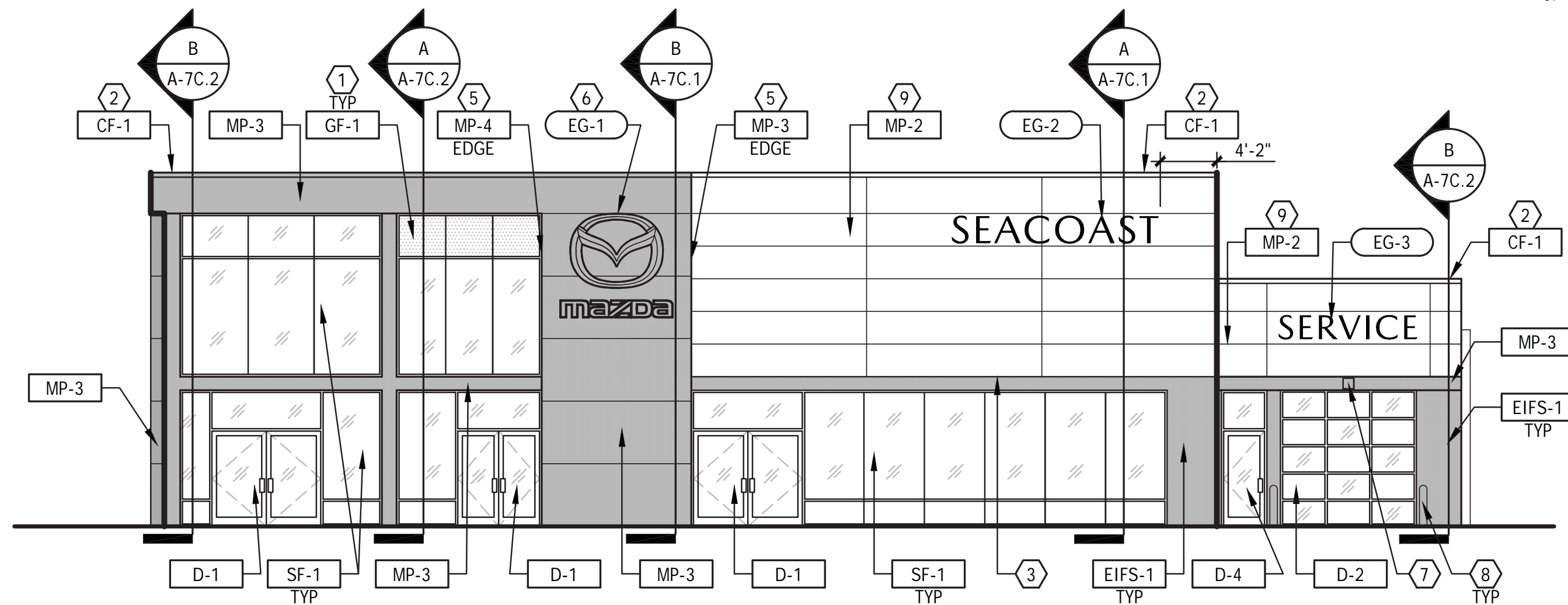
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- C. COMPLIANT CONSTRUCTION DOCUMENTS ARE TO BE PREPARED BY LICENSED PROFESSIONALS WHO ARE WILLING TO ACCEPT RESPONSIBILITY FOR PROPER APPLICATION OF THESE INTENT DOCUMENTS.
- D. ALL SIGNAGE IS SHOWN FOR DESIGN INTENT ONLY. APPROVAL SUBJECT TO LOCAL JURISDICTION. ALL SIGNAGE PROVIDED BY MAZDA APPROVED VENDOR. SEE "EG" SERIES SHEETS FOR ADDITIONAL

INFORMATION. DEALER TO CONTACT THEIR REGIONAL DEALER DEVELOPMENT DEPARTMENT TO SCHEDULE SIGN SURVEY WITH MAZDA APPROVED SIGN VENDOR.

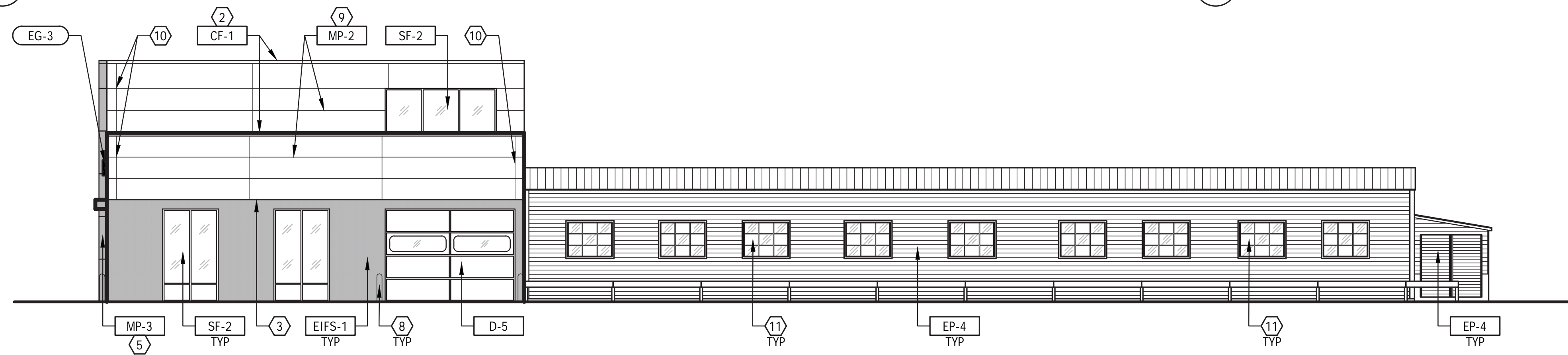
- E. ALL GRAPHICS AND WALL PANELS MAY REQUIRE BLOCKING OR OTHER POSITIVE FORM OF ANCHORAGE. COORDINATE WITH THE GRAPHICS VENDOR PRIOR TO CLOSING ANY WALL CAVITIES. SELECT SIGNS ARE ELECTRIFIED. REVIEW GRAPHICS SECTION OF THIS BOOK TO IDENTIFY WHICH GRAPHICS REQUIRE POWER.
- F. ELEVATIONS NOT SHOWN SHALL RECEIVE THE SAME OR COMPLEMENTARY FINISHES TO MATERIALS SHOWN.
- G. SEE SHEETS A-1B AND A-5A FOR LIGHTING DESIGN CRITERIA AND LIGHT FIXTURE SCHEDULE.
- H. EIFS SCORING AND JOINT LAYOUT PER MANUFACTURER REQUIREMENTS.
- I. ALL GUTTERS AND DOWNSPOUTS TO BE PAINTED TO MATCH ADJACENT WALL SURFACE.
- J. SIGNAGE WILL REQUIRE A SEPARATE PERMIT APPLICATION.

DRAWING NOTES

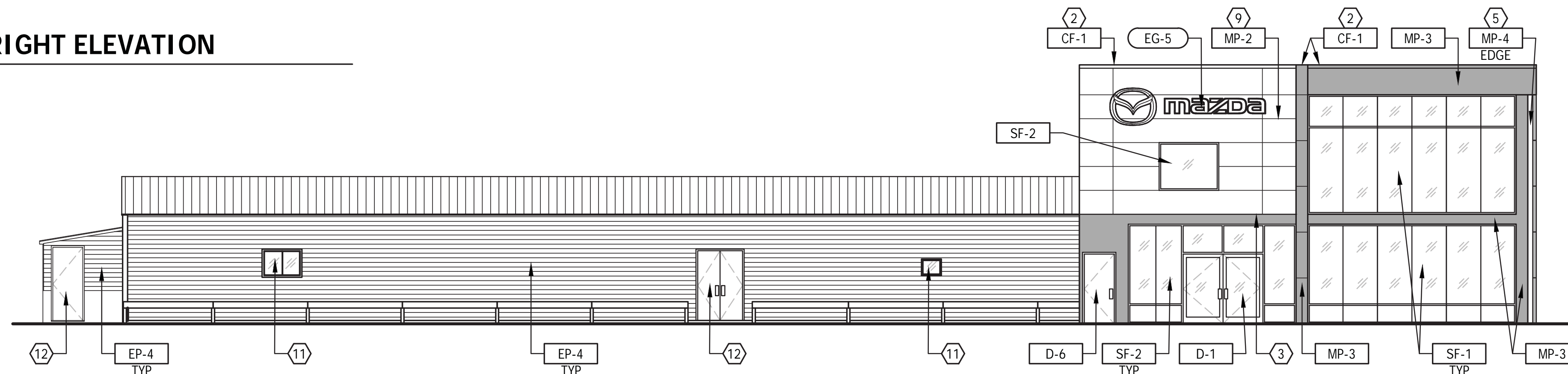
1. GLASS FILM.
2. METAL FLASHING TO MATCH ADJACENT MATERIAL COLOR. USE SIMILAR DETAIL TO CAPTURE BOTTOM EDGE OF METAL SIDING.
3. ACM PANELS TO MEET EIFS BELOW PER MANUFACTURER REQUIREMENTS.
4. NOT USED.
5. SEE SHEET A-7C.1 FOR ACCENT PANEL DETAILS.
6. MAZDA LOGO TO ALIGN WITH TOP OF WINDOW.
7. STOP AND GO SIGNALS - X TYPE LIGHTS.
8. BOLLARDS TO BE PAINTED PER LOCAL CODES.
9. MUST MAINTAIN SPACING ON ACM PANELS AS SHOWN.
10. ACM PANEL TO WRAP FROM FRONT AND BACK OF BUILDING TO SIDES.
11. EXISTING WINDOW. FRAMES TO BE PAINTED BLACK.
12. EXISTING DOOR TO BE PAINTED TO MATCH ADJACENT WALL.



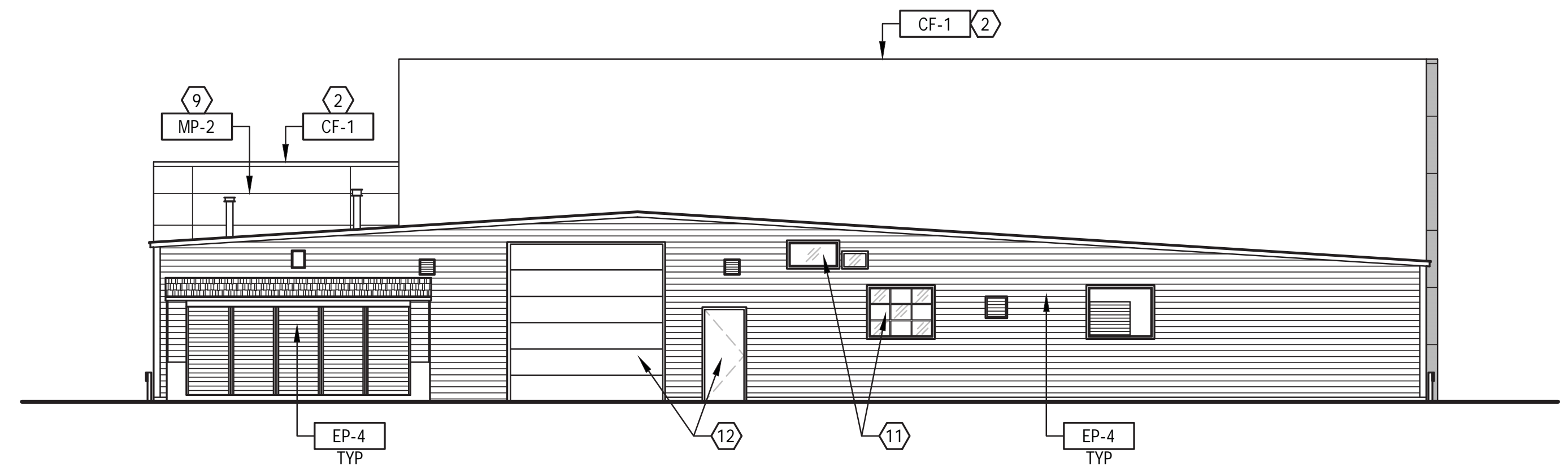
FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION

These drawings are for communication of design intent only. These drawings are to specify size, shape, color, features and proportions, and are not to be used as fabrication drawings.